

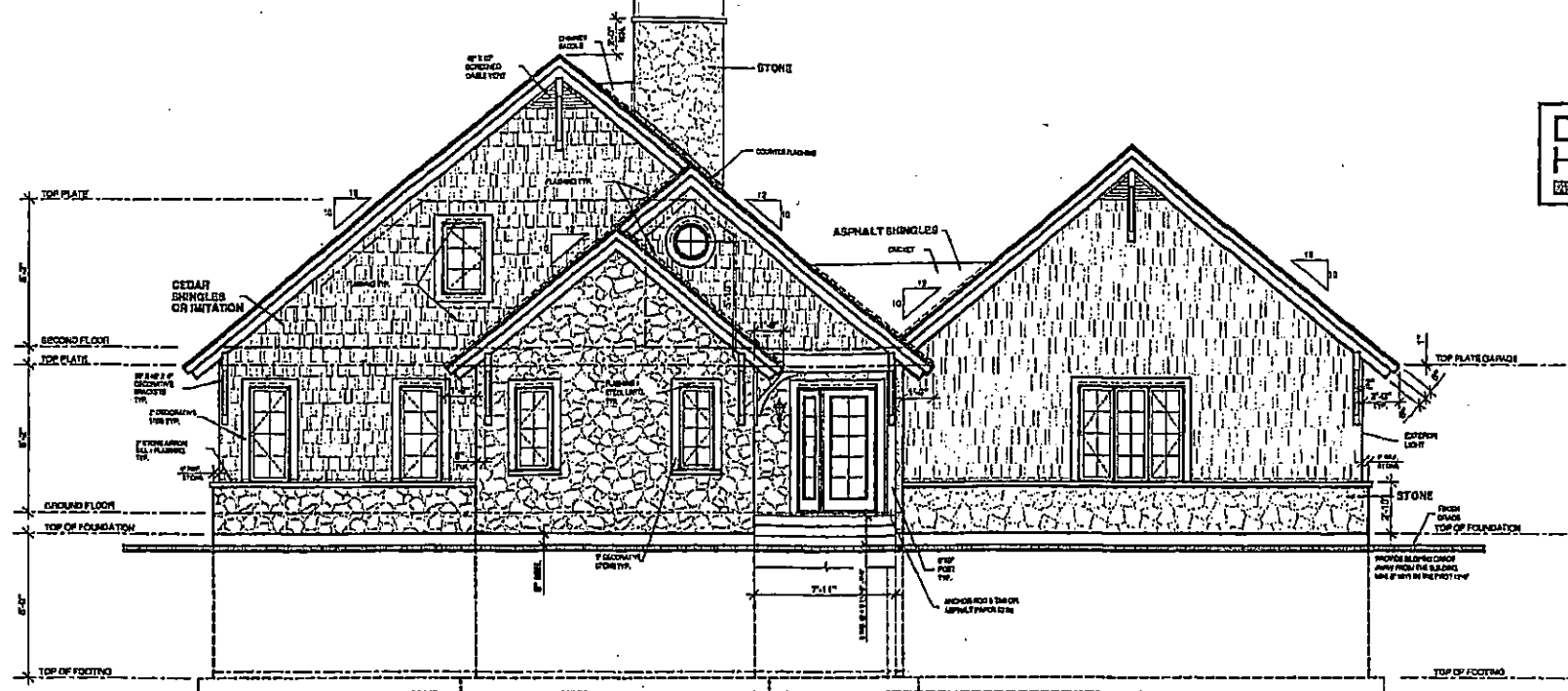
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JUL 08 2019

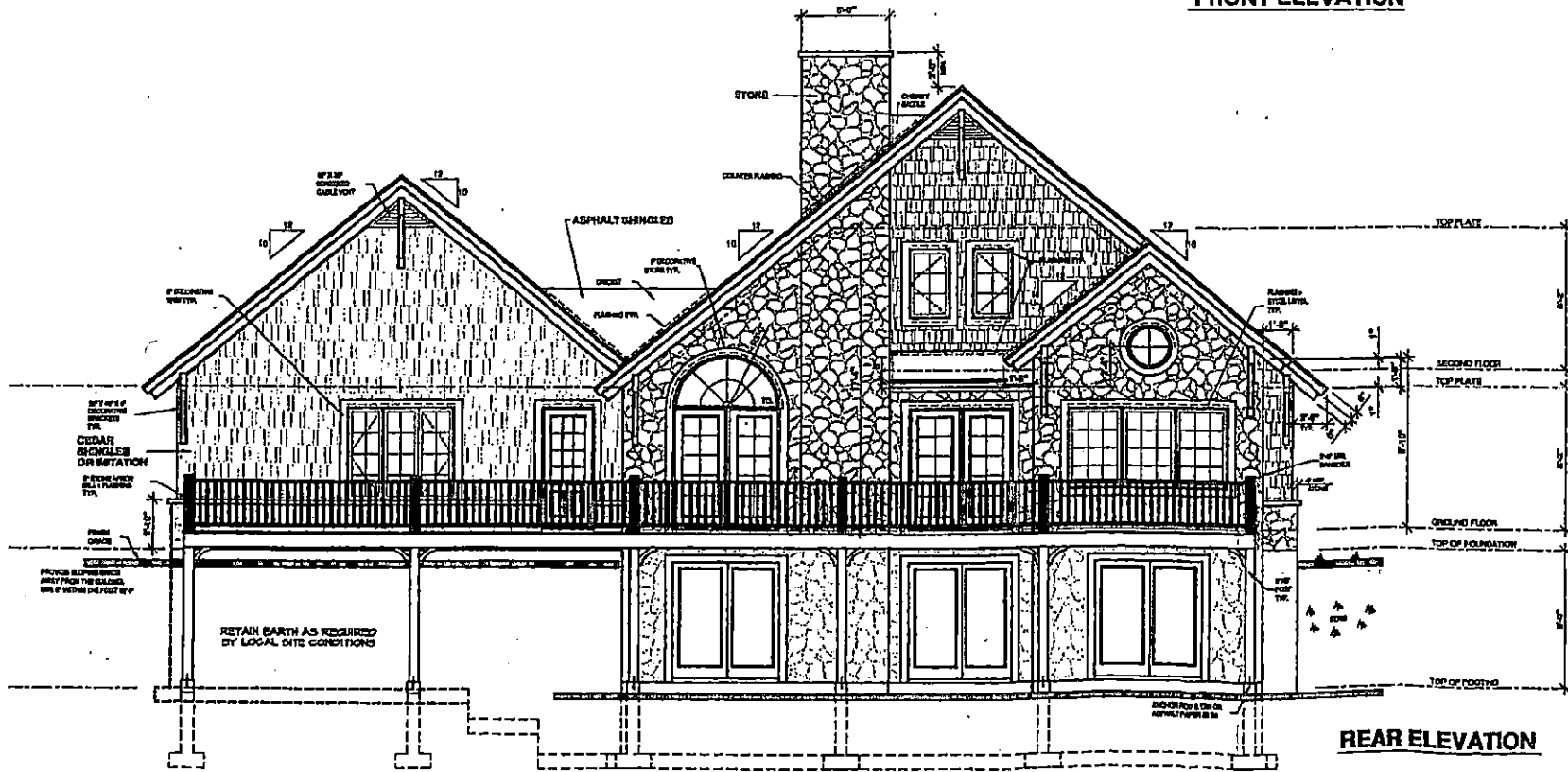
Planning Dept.
Pelham, NH



DRUMMOND HOUSE PLANS
Website: www.drummondhouseplans.com



FRONT ELEVATION



REAR ELEVATION

NOTES:
1. THESE PLANS HAVE BEEN PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THEY COMPLY WITH ALL CITY, STATE AND FEDERAL REQUIREMENTS. I AM NOT PROVIDING CONTRACT ADMINISTRATION OR CONSTRUCTION MANAGEMENT SERVICES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL FIELD MEASUREMENTS AND FOR CORRECTING ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
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167 CLAMBOURNE ROAD

SOUTHERN END REALTY
1105 LAKEVIEW AVE
DRAUGHT
MA, US 01828
(978) 257-6608

WOOFED BY
LifeStyle
DESIGN SERVICE
2333 Lakeside Rd., Troy, MA 01061
PH: (413) 232-3419 FX: (413) 232-4400

NAME	GORMAN
PROJECT NUMBER	2018-314

Important:
Contractors/Builders shall verify all conditions and dimensions before beginning construction. Any discrepancies shall be reported to LifeStyle Design Service for justification and/or corrections before proceeding with work. Contractors/Builders shall assume responsibility for all errors that are not reported. (888) 266-3439

AREA	SCHEDULE	20 FT.
GROUND FLOOR	1234	
SECOND FLOOR	1234	
TOTAL	2468	
OTHER		
BONUS ROOM		
GARAGE	418	

REVISION	NO.	DATE	BY

NEW CONSTRUCTION
(Clearance)

DATE	D.C.	S.M.	S.M.
12/07/2013			

3222 INV 1/4" = 1'-0" 1-B

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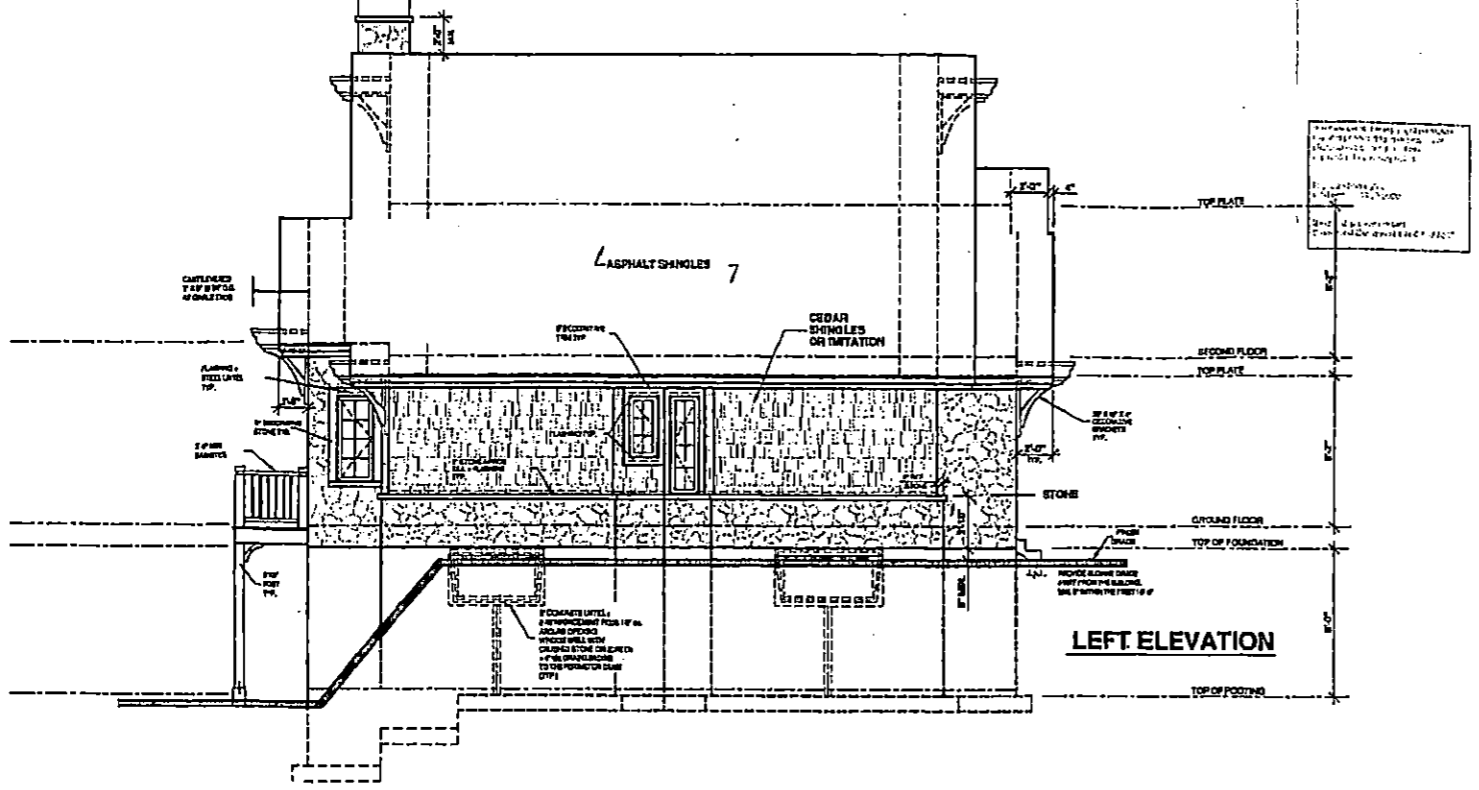


WORKED BY
LifeStyle
 DESIGN SERVICE
 2116 Lafayette Rd, Weymouth MA 01981
 Tel: (508) 266-3439 Fax: (508) 266-4070

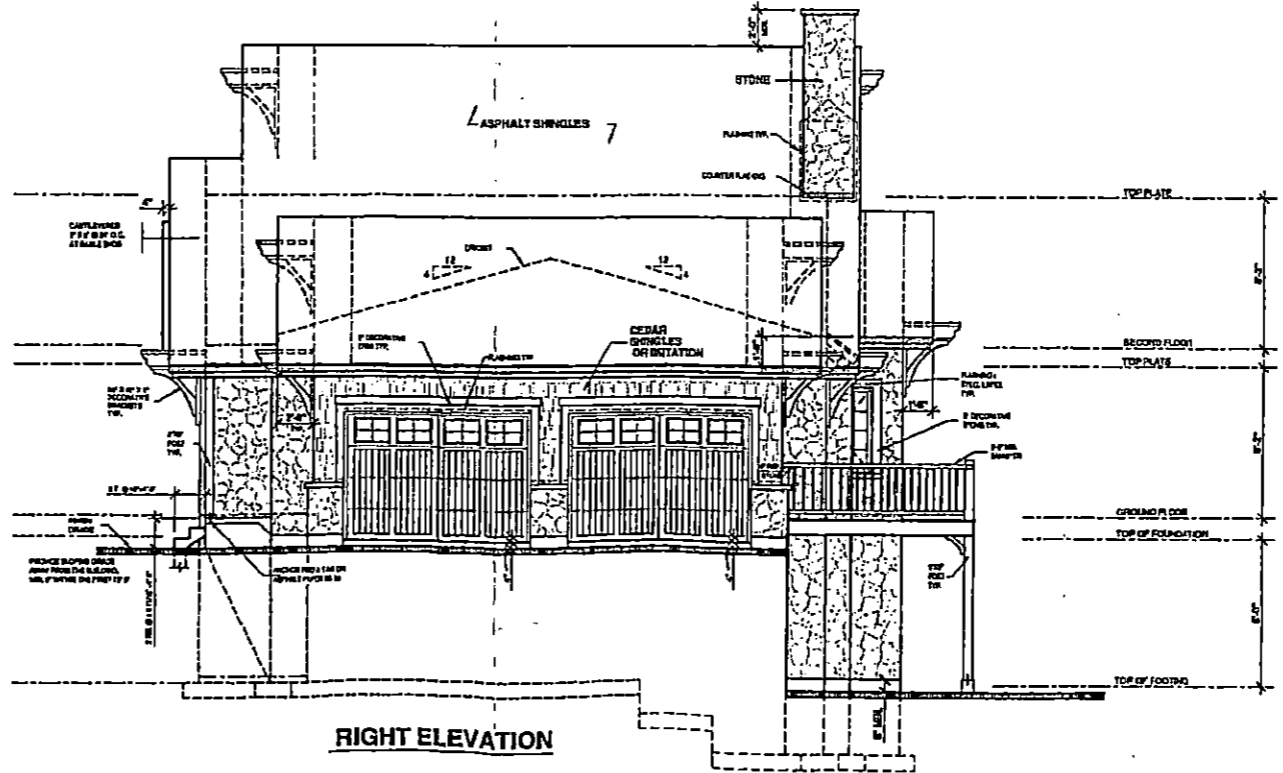
NAME
 CORVAN
 PROJECT
 NUMBER
 2018-314

DRUMMOND HOUSE PLANS
 Whether you are a contractor or homeowner

Important:
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LEFT ELEVATION



RIGHT ELEVATION

NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. ALL ROOF PITCHES ARE TO BE VERIFIED BY THE CONTRACTOR.
 3. ALL ROOFING SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
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 10. ALL ROOFING SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

SOUTHERN CO REALTY
 1133 LAKEVIEW AVE
 DRAUGHT MA, US 01824
 (578) 267-6500

REVISION	NO	DATE	BY

NEW CONSTRUCTION
 (Document)

ELEVATIONS

DATE	DRAWN	CHECKED	DATE	SCALE
10/27/2013				1/4" = 1'-0"

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APPROPRIATE LAYOUTS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS AND CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

IMPORTANT NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. FINISH FLOOR IS 4" ABOVE FINISH GRADE UNLESS OTHERWISE NOTED.
 3. ALL WALLS ARE TO BE CONCRETE BLOCK WITH 1/2" GYPSUM BOARD FINISH UNLESS OTHERWISE NOTED.

TO PROTECT AGAINST FLOODING:
 1. ALL FOUNDATION WALLS SHALL BE CONCRETE WITH 1/2" GYPSUM BOARD FINISH.
 2. ALL FOUNDATION WALLS SHALL BE DRAINAGE MATED WITH 1/2" GYPSUM BOARD FINISH.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR:
 1. OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
 2. VERIFYING ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING CONSTRUCTION.

IF ANY DISCREPANCIES ARE FOUND:
 1. THE CONTRACTOR SHALL STOP WORK IMMEDIATELY.
 2. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY.

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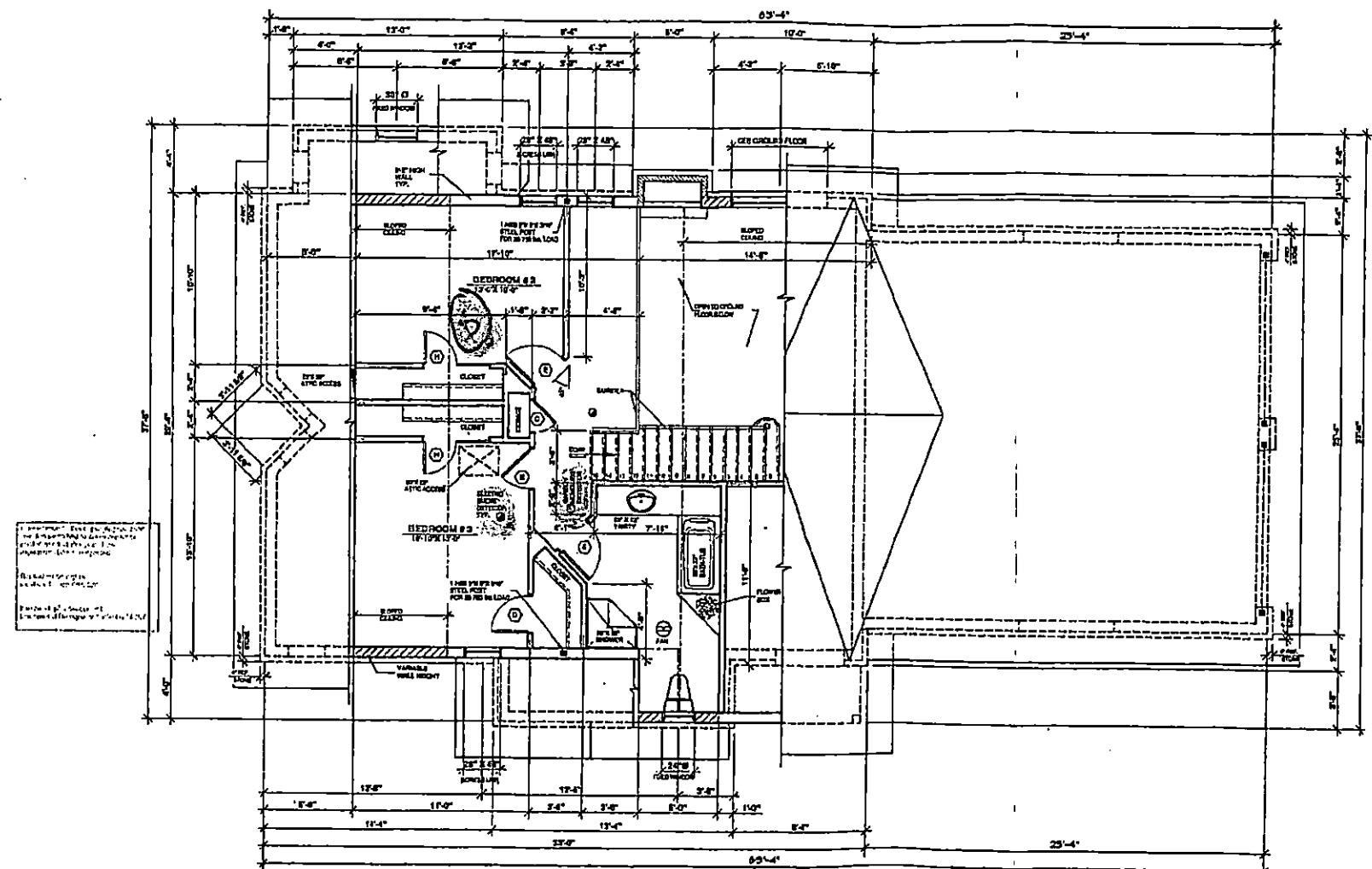
DESIGN SERVICE
 220 Lakewood Rd., Westport, MA 01886
 Ph: (978) 750-3439 Fax: (978) 750-3439

PROJECT NUMBER: 2018-0314



Important:
 Contractor/Builders shall verify all conditions and dimensions before beginning construction. Any discrepancies shall be reported to LifeStyle Design Service for justification and/or correction before proceeding with work. Contractor/Builders shall assume responsibility for all errors that are not reported. (888) 266-3439

DRUMMOND HOUSE PLANS
 A Better Plan for Every Home



NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. FINISH FLOOR IS 4" ABOVE FINISH GRADE UNLESS OTHERWISE NOTED.
 3. ALL WALLS ARE TO BE CONCRETE BLOCK WITH 1/2" GYPSUM BOARD FINISH UNLESS OTHERWISE NOTED.

REVISION

NO	DATE	BY

SOUTHERN END REALTY
 1105 LAKEVIEW AVE
 DRAUGHT
 MA US 01820
 (978) 757-6666

NEW CONSTRUCTION
 (Standard)

SECOND FLOOR PLAN

COORDINATOR

NAME	SIZE
A	11'0" x 11'0"
B	11'0" x 11'0"
C	11'0" x 11'0"
D	11'0" x 11'0"
E	11'0" x 11'0"
F	11'0" x 11'0"
G	11'0" x 11'0"
H	11'0" x 11'0"
I	11'0" x 11'0"
J	11'0" x 11'0"
K	11'0" x 11'0"
L	11'0" x 11'0"
M	11'0" x 11'0"
N	11'0" x 11'0"
O	11'0" x 11'0"
P	11'0" x 11'0"
Q	11'0" x 11'0"
R	11'0" x 11'0"
S	11'0" x 11'0"
T	11'0" x 11'0"
U	11'0" x 11'0"
V	11'0" x 11'0"
W	11'0" x 11'0"
X	11'0" x 11'0"
Y	11'0" x 11'0"
Z	11'0" x 11'0"

DATE: 10/1/2013
 SCALE: 1/4" = 1'-0"
 DRAWN BY: 3023 BY
 CHECKED BY: S-B

STRUCTURAL LEGEND

WALL SUPPORT

REINFORCED CONCRETE SUPPORTING STRUCTURE

CEILING WALL

ABBREVIATION

WALL

DOOR

WINDOW

POUR CONCRETE FLOOR

POUR CONCRETE FLOOR

CROSS SECTION

SECTION THROUGH WALL

SECTION THROUGH DOOR

SECTION THROUGH WINDOW

SECTION THROUGH POOR CONCRETE FLOOR

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DRAWN BY
Lifestyle
 DESIGN SERVICE
 2726 Lafayette Rd., Plymouth, MA 01901
 Ph: (508) 968-3028 Fax: (508) 968-4295

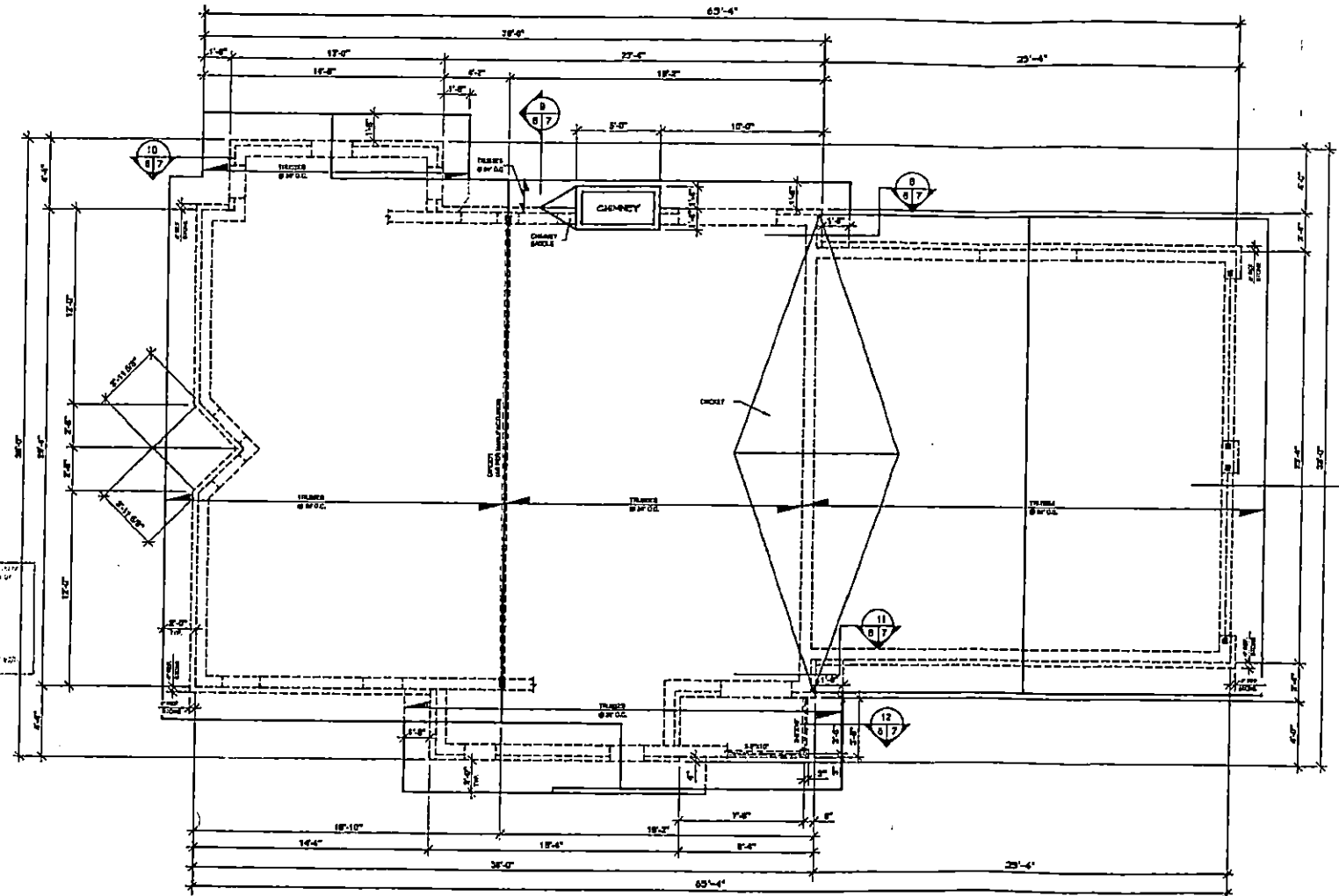
NAME
 GORDMAN
 PROJECT
 NUMBER
 2018-314



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 HOUSE PLANS**
A Better Place to Live

Important:

Contractor/Builders shall verify all conditions and dimensions before beginning construction. Any discrepancies shall be reported to Lifestyle Design Service for justification and/or corrections before proceeding with work. Contractor/Builders shall assume responsibility for all errors that are not reported. (888) 266-3439



NOTES:
 1. THESE PLANS HAVE BEEN PREPARED BY THE ARCHITECT AND ENGINEER AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY OTHER USE OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT AND ENGINEER IS STRICTLY PROHIBITED.
 2. THE ARCHITECT AND ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE PLANS OR FOR ANY CONSEQUENCES ARISING THEREFROM.
 3. THE ARCHITECT AND ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CHANGES TO THESE PLANS MADE BY ANY OTHER PARTY.
 4. THE ARCHITECT AND ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR INTERFERENCE WITH THE PROGRESS OF THE PROJECT.
 5. THE ARCHITECT AND ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO OR DESTRUCTION OF THE PROJECT OR ANY PART THEREOF.
 6. THE ARCHITECT AND ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY INJURY TO OR DEATH OF ANY PERSON OR ANIMAL.
 7. THE ARCHITECT AND ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY COSTS INCURRED BY ANY PARTY IN CONNECTION WITH THE PROJECT.
 8. THE ARCHITECT AND ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY LEGAL FEES INCURRED BY ANY PARTY IN CONNECTION WITH THE PROJECT.
 9. THE ARCHITECT AND ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY OTHER COSTS INCURRED BY ANY PARTY IN CONNECTION WITH THE PROJECT.
 10. THE ARCHITECT AND ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY OTHER COSTS INCURRED BY ANY PARTY IN CONNECTION WITH THE PROJECT.

SOUTHERN MD REALTY
 1103 LAKEVIEW AVE
 ORACLE
 MA, US 01826
 (978) 957-0661

REVISION	NO	DATE	BY

STAMP BY: _____
 DATE: _____

PROJECT: NEW CONSTRUCTION
 (SHEET NO.)

DRAWING: ROOF PLAN

CHECKED BY: O.C. DRAWN BY: S.J.M. DATE: S.M.

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DRUMMOND HOUSE PLANS

AN UNMATCHED PLAN FOR AFFORDABLE HOUSING

GROUND LOAD CAPACITY
A GROUND LOAD CAPACITY TEST MUST BE CONDUCTED.

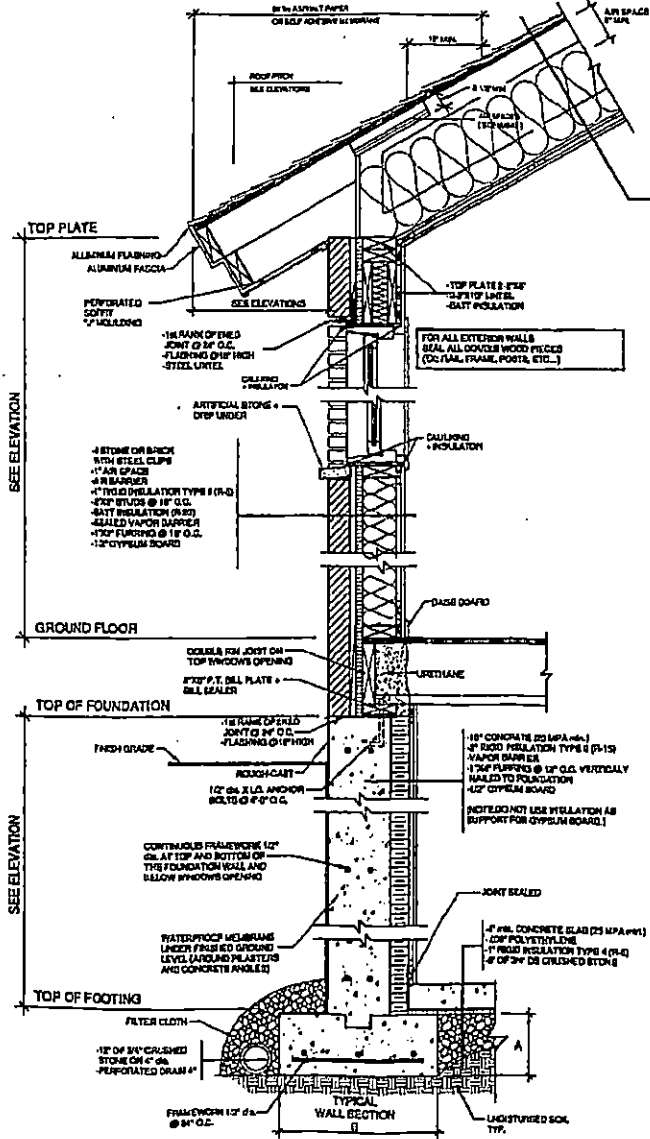
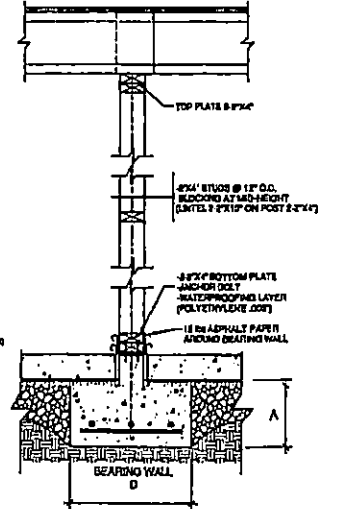
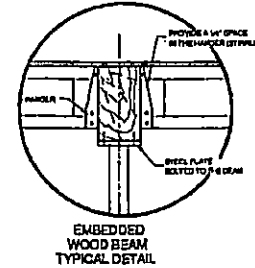
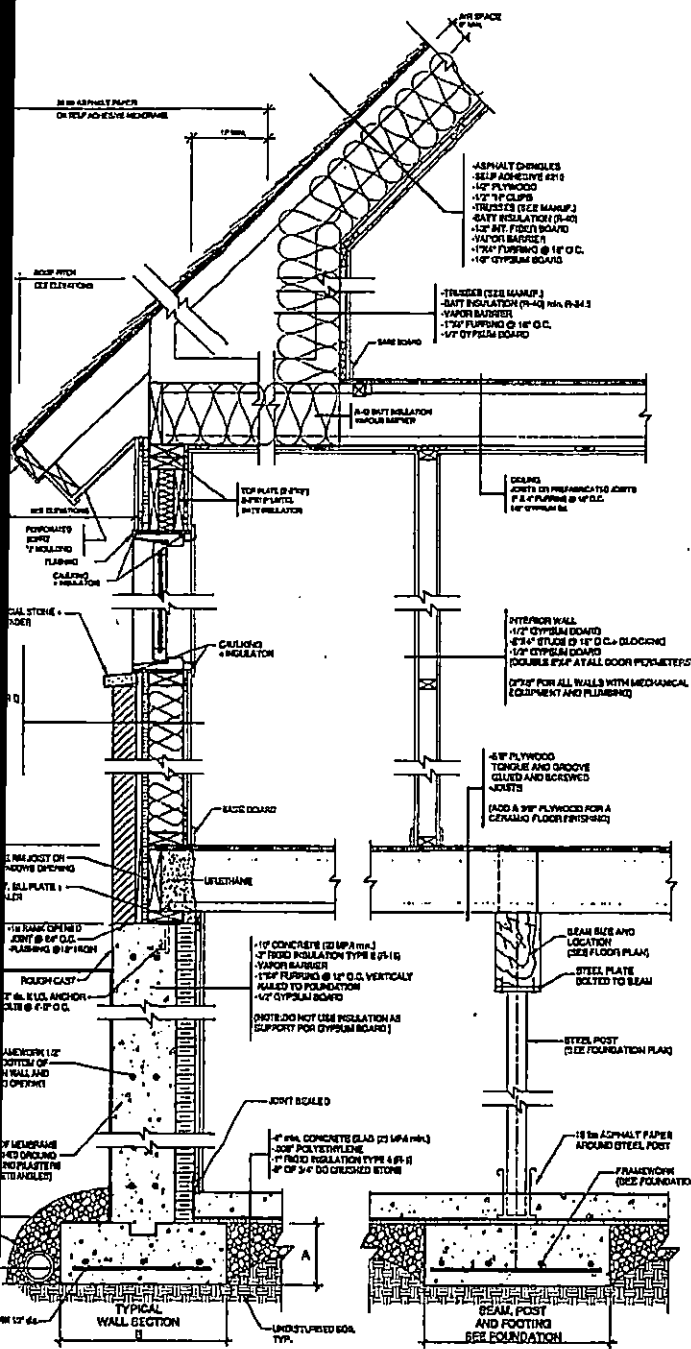
FOOTING DIMENSION
(UNLESS OTHERWISE NOTED)

A= 10" C= 30"
B= 24" D= 20"

2008 DESIGN ASSUMED GROUND LOAD CAPACITY. FOR EXCESS CAPACITY, CONTRACTOR MUST ADJUST FOOTING DIMENSIONS, AS ENGINEER RECOMMENDATIONS.

1. THIS PLAN IS BASED ON THE ASSUMPTION THAT THE GROUND IS UNIFORM AND OF AVERAGE STRENGTH. THE CONTRACTOR SHALL VERIFY THE GROUND CONDITIONS AND MAKE NECESSARY ADJUSTMENTS TO THE FOUNDATION DESIGN.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.



1. ASPHALT BRICKLES
2. SELF-ADHESIVE FELT
3. 1/2" X 1/2" PLYWOOD
4. 1/2" X 1/2" CLIPS
5. TRUSSES (SEE MANUF.)
6. BATT INSULATION (R-19)
7. 1/2" X 1/2" FLOOR BOARD
8. VAPOR BARRIER
9. 1/2" X 1/2" FLOORING @ 16" O.C.
10. 1/2" X 1/2" GYPSON BOARD

1. TOP PLATE @ 2"x4"
2. 2"x4" PLATES
3. BATT INSULATION
4. FOR ALL EXTERIOR WALLS SEAL ALL CONCRETE WOOD JOISTS (DOOR/JAMB, FRAME, POSTS, ETC.)

1. 4" STONE OR BRICK
2. 1/2" X 1/2" STEEL CLIPS
3. 1/2" AIR SPACE
4. VAPOR BARRIER
5. 1/2" X 1/2" INSULATION TYPE 8 (R-24)
6. 2"x2" STUDS @ 16" O.C.
7. BATT INSULATION (R-19)
8. GLEUED VAPOR BARRIER
9. 1/2" X 1/2" FLOORING @ 16" O.C.
10. 1/2" X 1/2" GYPSON BOARD

1. DOUBLE 2"x4" JOIST ON TOP WINDOWS OPENING
2. 2"x2" P.L. BELL PLATE + GILL SEALER
3. 1/2" X 1/2" CONCRETE (20 MPa min.)
4. 1/2" X 1/2" INSULATION TYPE 8 (R-24)
5. VAPOR BARRIER
6. 1/2" X 1/2" FLOORING @ 16" O.C. VERTICALLY
7. NAILED TO FOUNDATION
8. 1/2" X 1/2" GYPSON BOARD
9. JOINT SEALED

1. 1/2" X 1/2" CONCRETE (20 MPa min.)
2. 1/2" X 1/2" POLYETHYLENE
3. 1/2" X 1/2" INSULATION TYPE 4 (R-11)
4. 1/2" X 1/2" 3/4" DR CRUSHED STONE

NOTES:

1. THIS PLAN IS BASED ON THE ASSUMPTION THAT THE GROUND IS UNIFORM AND OF AVERAGE STRENGTH. THE CONTRACTOR SHALL VERIFY THE GROUND CONDITIONS AND MAKE NECESSARY ADJUSTMENTS TO THE FOUNDATION DESIGN.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.

SOUTHERN END REALTY
1105 LAKEVIEW AVE
DRAUGHT
MA, US 01826
(378) 957-6660

REVISION NO DATE DT

STAMP

NEW CONSTRUCTION

TYPICAL WALL SECTION

DWG NO. 16072013 DATE 11-1-10

MODIFIED BY
LifeStyle
DESIGN SERVICE
2578 LANTANA BL, SUITE 101, BOCA RATON, FL 33433
PH (561) 264-1339 FX (561) 402-3262

NAME
CORSMAN

PROJECT NUMBER
2016-344

Important:

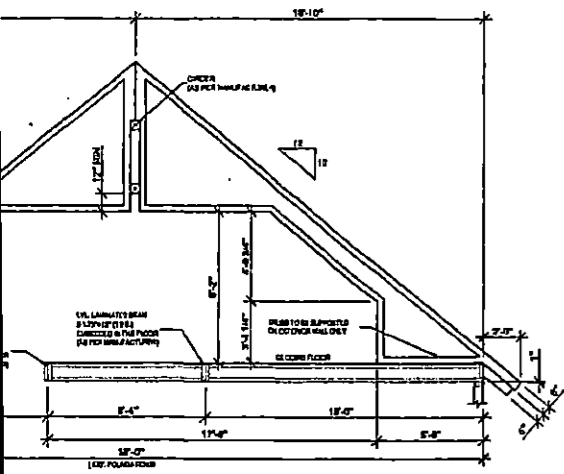
Contractor/Builder shall verify all conditions and dimensions before beginning construction. Any discrepancies shall be reported to LifeStyle Design Service for justification and/or corrections before proceeding with work. Contractor/Builder shall assume responsibility for all errors that are not reported. (RRR) 266-3439

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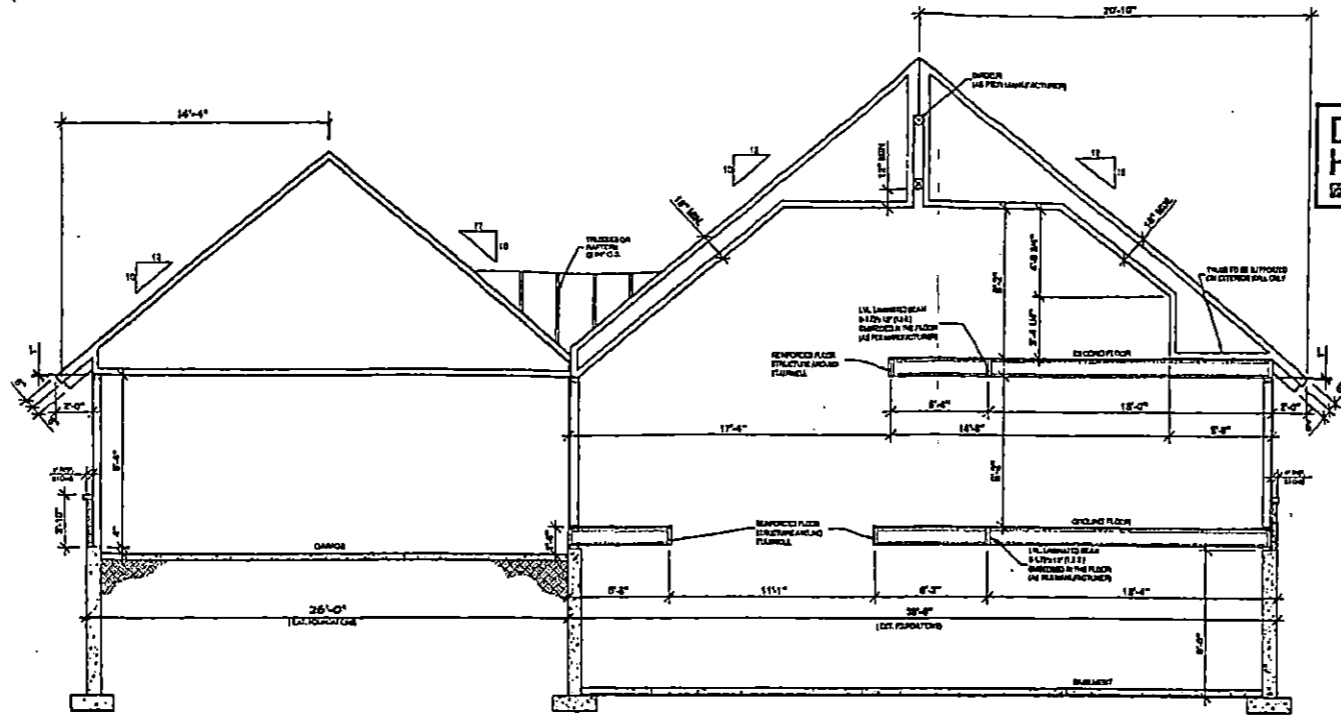


DRUMMOND HOUSE PLANS

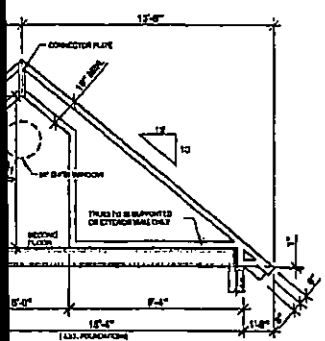
Better than your own architect



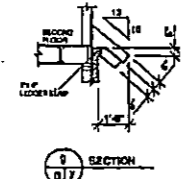
SECTION 6



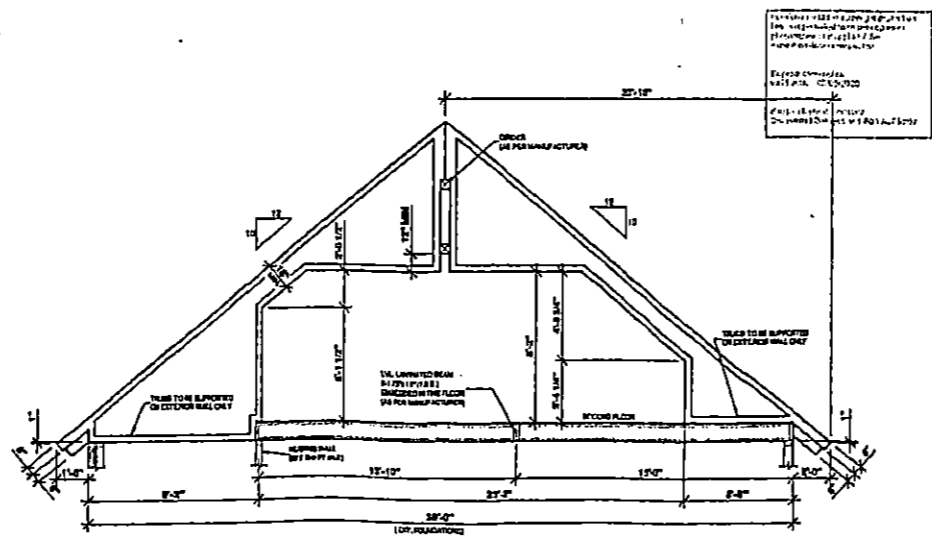
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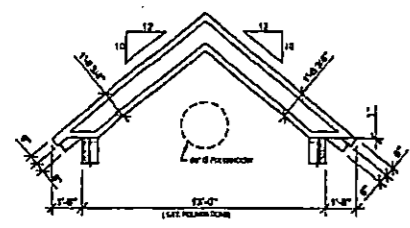
SECTION 8



SECTION 9



SECTION 11



SECTION 10

NOTES:

1. ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
2. ALL ROOF PITCHES ARE 12/12 UNLESS OTHERWISE NOTED.
3. ALL TRUSSES AND RAFTERS ARE TO BE MANUFACTURED TO MEET THE REQUIREMENTS OF THE NATIONAL TRUSS ASSOCIATION (NTA) STANDARD.
4. ALL TRUSSES AND RAFTERS ARE TO BE SUPPORTED ON EXTERIOR WALLS ONLY.
5. ALL FLOOR JOISTS ARE TO BE SUPPORTED ON EXTERIOR WALLS ONLY.
6. ALL FLOOR JOISTS ARE TO BE SUPPORTED ON INTERIOR WALLS ONLY.
7. ALL FLOOR JOISTS ARE TO BE SUPPORTED ON BEAMS ONLY.
8. ALL FLOOR JOISTS ARE TO BE SUPPORTED ON PILLARS ONLY.
9. ALL FLOOR JOISTS ARE TO BE SUPPORTED ON FOUNDATIONS ONLY.
10. ALL FLOOR JOISTS ARE TO BE SUPPORTED ON OTHER WALLS ONLY.
11. ALL FLOOR JOISTS ARE TO BE SUPPORTED ON OTHER WALLS ONLY.
12. ALL FLOOR JOISTS ARE TO BE SUPPORTED ON OTHER WALLS ONLY.
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20. ALL FLOOR JOISTS ARE TO BE SUPPORTED ON OTHER WALLS ONLY.

SOUTHERN END REALTY
 1105 LAKEVIEW AVE
 DRACUT
 MA, US 01820
 (978) 957-0568

REVISION	NO	DATE	BY

STAMP BY: _____

NEW CONSTRUCTION
 (Owner)

TRUSS DIAGRAM

D.C. G.M. B.M.

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NAME	GORMAN
PROJECT NUMBER	2016-314

Verify all conditions and existing construction. Any changes reported to LifeStyle Construction and/or corrections by Contractor/Builder are the responsibility of the Contractor/Builder for all errors that are not shown on the plans. (978) 266-3439